



T I M N A T H  
R A N C H

## Architectural Guidelines

ESTABLISHED: 3/13/08 - SUBJECT TO CHANGE, LAST AMENDMENT 06/25/20

These guidelines have been prepared pursuant to the Architectural Control provisions, of the Declaration of Covenants, Conditions and Restrictions for Timnath Ranch and are intended to assist the applicant in preparing plans for submittal to the Architectural Control Committee. Notwithstanding these guidelines the applicant must meet the requirements of the Declaration, as well as the objective, standards, and criteria contained in the Declaration of Covenants, Conditions and Restrictions for Timnath Ranch Subdivision.

These are guidelines and not absolutes. The Timnath Ranch Architectural Control Committee is receptive to a range of architectural variation, if the compatibility of style, detailing, quality and color are achieved. The Architectural Control Committee (hereafter referred to as "ACC") is intent on preserving the quality of appearance and property values, and this involves the avoidance of repetitive design and the encouragement of complimentary variety.

<b>ITEM:</b>	<b>GUIDELINES-SINGLE FAMILY**</b>
<b>Design Scheme:</b>	Traditional - Contemporary
<b>Height:</b>	Maximum of 35' height measured from top of foundation. <b>Setbacks (from Town):</b> (a) Front yard: 20 ft. minimum (b) Side: 5 ft. minimum, and/or minimum of easement width (c) Rear: 20 ft. minimum, and/or minimum of easement width
<b>Gross Square Footage:</b>	(a) 1-story: 1400 sq. ft. minimum (b) 2-story: 1800 sq. ft. minimum (c) 3-story: 1700 sq. ft. minimum
<b>Roof Materials:</b>	30 yr. dimensional asphalt shingle. Higher quality material may be allowed by special ACC review.
<b>Roof Pitch:</b>	The roof pitch on any residence must be between 4/12 and 12/12. Porches and shed elements may have roof pitches as low as 4/12. Any residential plan should be designed to look attractive on all four sides and multiple roof pitches and plane changes are encouraged.
<b>Overhangs:</b>	Minimum of 12".
<b>Rear &amp; Side Elevations:</b>	Rear and side elevation to include architectural relief as bay window, deck, chimney, roof gable, height reduction, corner extending 4'

minimum or other design element providing architectural relief acceptable to the ACC.

- Garage:** Minimum of 2-Car Garage
- Siding:** Maximum 8" exposure, a 7" reveal and 1' overhang.
- Trim:** 1" x 4" minimum at the windows (all around).  
1" x 4" minimum at the corners.
- Masonry:** A minimum of 20% of the front elevation shall be masonry, with a minimum 2' masonry return at front corners of home. House plans without masonry will be considered on a case by case basis but shall not be built either next door or across street from another.
- Fascia:** 1" x 8" minimum with a 1" x 2" trim or gutter.
- Exterior Vents:** To fit exterior design.
- Colors:** Color boards from each builder will be submitted to District c/o Pinnacle Consulting Group. ACC will review and be open to creative color schemes.
- Painting:** ACC approval is required for all exterior painting. Submittal of colors, chips, brand names for field, trim and accent colors shall be included. Submittal of colors is not required if proposed color scheme is the same as existing. ACC may, in its discretion, require repainting of residences which have not received advance approval if the colors are not acceptable. Painting of fencing must comply with the Timnath Ranch Neighborhood Fencing Plan guidelines.
- Windows:** Double hung/casement or slider, wood prime door vinyl clad, or vinyl.
- Trash/Cleanliness:** One (1) construction dumpster per house. Be cognizant of cleanliness of construction sites especially on Friday afternoons (we all want neighborhood to look great on the weekends for potential homebuyers).
- Fences:** If homeowner and/or builder chooses to install fencing, the homeowner and/or builder is responsible for the installation of a side and rear yard fencing per attached detail as outlined in Exhibit A or per Timnath Ranch subdivision standards with approval by ACC.
- Privacy Walls:** Privacy walls shall be made of same siding or masonry material as the house and provide for the privacy for a specific reason such as a Hot Tub/Spa/Patio. All privacy walls must be approved by ACC and restricted to side and back yards. Privacy walls should be attached to

house and/or connecting patios to provide for hot tub/spa or patio privacy. Size and height of privacy walls or panels will be reviewed on a case-by-case basis based on reasons for installation, site conditions, placement and height and the number of privacy wall or panels to be installed.

**Landscaping:**

Plan to be prepared showing locations and –District fencing type, all planting bed locations, sod, and seed locations, edging and mulch types, storage, play areas, decks, etc. Shrubs, trees, and plant materials to be labeled on the plan. Shrubs installed must be a minimum size of 5-gallon. All trees must be a minimum of 1 ¾” caliper trunk and identified on the plan. All lots must have a minimum one (1) shade type tree installed in the tree lawn (grass strip between the sidewalk and the street). Corner lots may require more lot tree plantings. Contact District Management to obtain required tree(s) per approved Timnath Ranch community master plan required by the Town. If there is no sidewalk with a tree lawn located adjacent to the roadway a tree must be installed in the front yard. Ash are prohibited. Please reference the recommended tree list in Exhibit B for a list of trees that could work well in the rear yard area. If backyard lawn area is seeded and first attempt at seeding is not successful, applicants may be required to install sod. All seed areas are to be weed free at all times. Front yard to be 50% sod, excluding hard surface (i.e.: driveway & sidewalks).

**Landscaping Completion:**

All landscaping for lots on which residence has been substantially completed between January 1 and August 30 of any year shall be landscaped in the same year. If the residence is completed after August 30, such landscaping shall be completed by May 31 of the following year.

**Play Equipment:**

ARC approval is required if equipment is more than seven (7) feet in height. Playground equipment to be located from rear and side lot lines a minimum distance equal to the tallest height of the equipment, but not less than 5 feet. Play equipment or items used for front yard play are to be stored out of view when not in use with the exception of portable basketball hoops. Portable basketball hoops must be stored when not in use during September through May. Consideration should also be given to securing lightweight play equipment, which is subject to movement by high winds. Swing sets and play equipment colors must be approved by the ARC. Colors must be submitted with the plans. A playground area should be designated on the approved landscaping plan for construction of play equipment such as swing sets, playhouses and forts with appropriate ground cover noted therein.

**Outbuildings:**

Storage sheds to be located within 3’ of the house, similar design, roof

and color of house, and a maximum of 100 sq. ft. Maximum height allowed is 8'.

**Antennas and Satellite Dishes:**

Antennas to be located in the attic space and satellite dishes over 1 meter in diameter are not allowed.

**Additional Items needing Approval:**

Storm doors, basketball hoops (portable basketball hoops must be stored when not in use during September through May), playhouse, dog runs/enclosures, electric dog fences, hot tubs, pools, patio enclosures, patio roofs and trellises, awnings, decks, driveways, siding, security bars for windows and doors, window tinting, painting, playground equipment, swing sets, signs, house numbers, clothes lines, site lighting, window air conditioners, swamp coolers, firewood storage, change in color scheme, boat and additional vehicle parking, storage sheds, landscape plan revisions.

**No RV garages will be allowed.**

**Variances:**

Variances from these guidelines must be granted on a case-by-case basis. The intent of these guidelines is to provide a high-quality custom look with a great deal of variety. If additional high-end features are added such as brick or stone on all elevations or pillars, etc., then variances may be considered.

**Submittals:**

**Submit** one set of Plans to Timnath Ranch Architectural Review, c/o Pinnacle Consulting Group. **Plans should be submitted, preferably electronically, to**

**[districtservices@timnathranchmetrodistrict.com](mailto:districtservices@timnathranchmetrodistrict.com)**

**Or mailed to:**

Timnath Ranch Metropolitan District  
c/o Pinnacle Consulting Group Inc.  
550 W. Eisenhower Blvd., Loveland, CO 80537  
Phone: (970) 617-2463

**Submittal Fees:**

**Payable to Timnath Ranch Metropolitan District**

**Builders-Home Architectural Drawing Fee:**

**Minimum of \$250 / per plan set, actual Application Review District cost in excess of \$250 will be billed to owner.**

**Landscape Plan or**

**Initial Landscape or major exterior modification: \$150**

**Exterior alterations**

**Minor landscape or exterior modification: \$100**

**Resubmittal Fees: \$50 due for incomplete plan resubmittal and/or contingency items review for all plan submittals.**

*All guidelines herein are to comply with the Town of Timnath's Town Code and Building requirements.*

**EXHIBIT A.1**

**FENCE GUIDELINES**

**Wooden Fencing Specifications**

**Timnath Ranch Subdivision 3<sup>rd</sup> Filing, County of Larimer, State of Colorado**

**Timnath Ranch Amended 3<sup>rd</sup> Filing, County of Larimer, State of Colorado**



May 2019

**RE: Single-Family Fence Specifications at Timnath Ranch Subdivision, 3<sup>rd</sup> Filing**

To Whom It May Concern,

The Timnath Ranch Subdivision, 3<sup>rd</sup> Filing Single-Family Home Fencing Standard is as follows:

- Five Foot Picket Fence, Cedar
- Stain Color: Sherwin Williams SW2209 (tan) – the fence stain color is only sold at certain stores. Mixing instructions for 1 gallon of product is below.

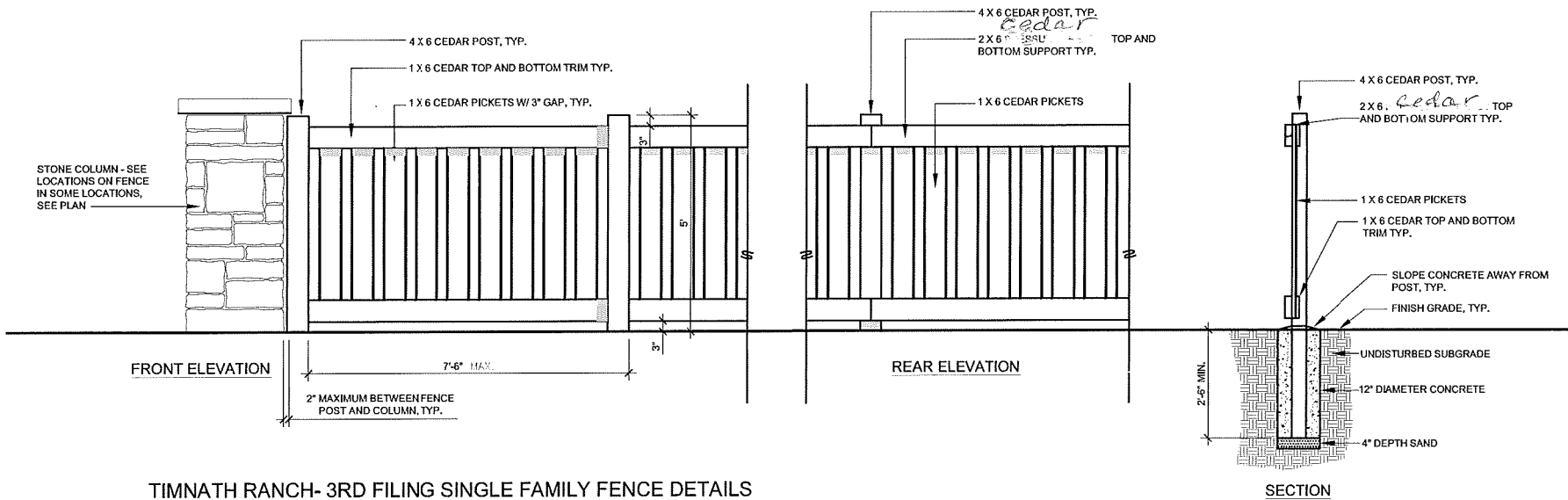


See attached spec sheet for further details.

Thank you.

Sincerely,  
Timnath Ranch Metropolitan District  
Architectural Control Committee

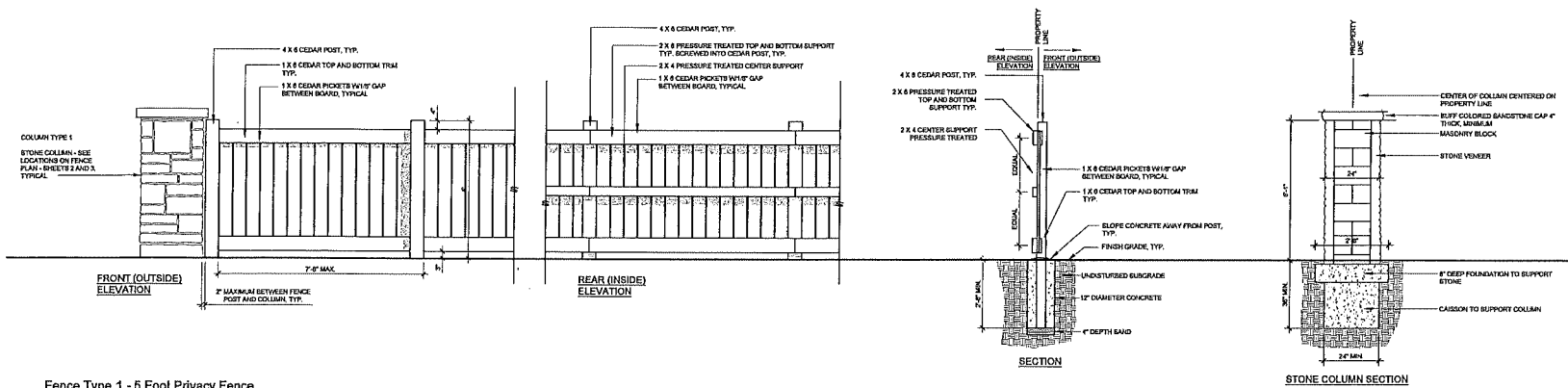
HOMEOWNER FENCING - FIVE FOOT PICKET FENCE



TIMNATH RANCH- 3RD FILING SINGLE FAMILY FENCE DETAILS  
 STAIN COLOR: SHERWIN WILLIAMS SW2209

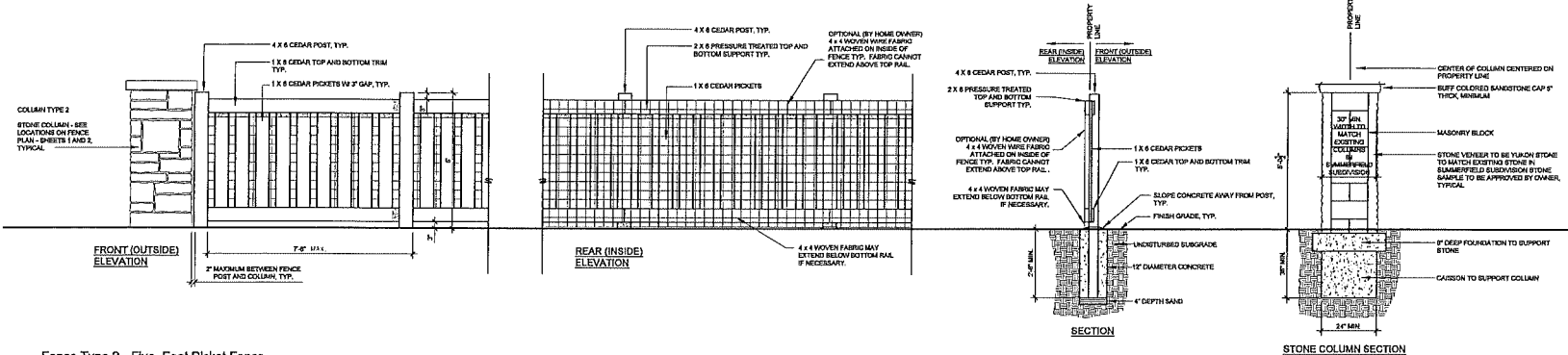
MAY 30, 2010-NOT TO SCALE

NOTE:  
 FENCE IS REQUIRED TO BE STAINED. STAIN IS  
 REQUIRED TO MATCH SUBDIVISION FENCE STAIN  
 SW2209.



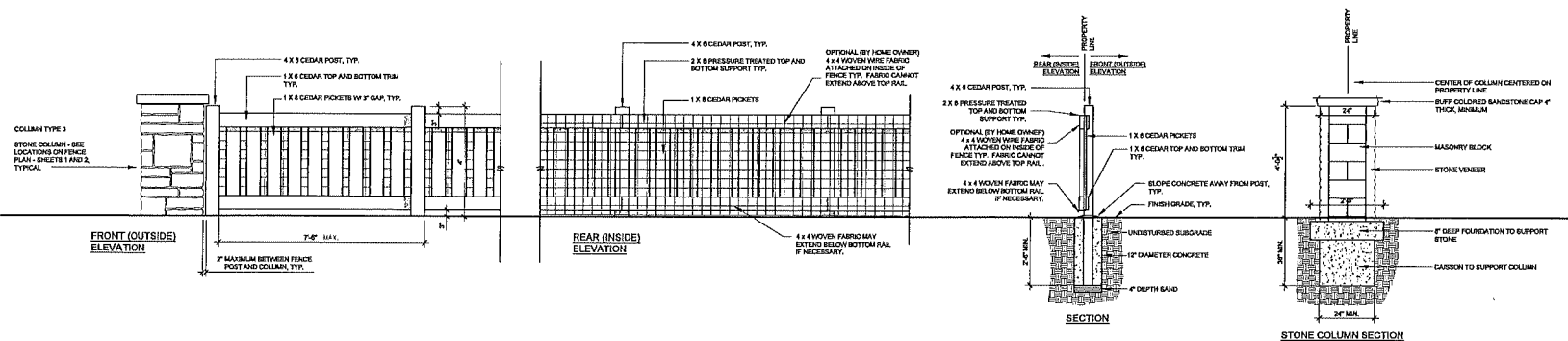
Fence Type 1 - 6 Foot Privacy Fence

SCALE 1/2" = 1'-0"



Fence Type 2 - Five Foot Picket Fence

SCALE 1/2" = 1'-0"



Fence Type 3 - Four Foot Picket Fence

SCALE 1/2" = 1'-0"



**TIMNATH RANCH SUBDIVISION**

Timnath Ranch Subdivision  
First Filing

Third Amended Final Plat

TIMNATH, COLORADO

Village Homes  
8400 E. Orchard Road  
Suite 1000  
Greenwood Village, CO 80111  
ATTN: Rob Johnson  
Vice President of Land Development  
Ph: 303-733-8671



DATE	DESCRIPTION	BY
07/23/14	2nd Submittal	
08/26/14	Final Major	

May 15, 2014

**FENCING DETAILS**

SHEET NUMBER:

**FS 4.0**

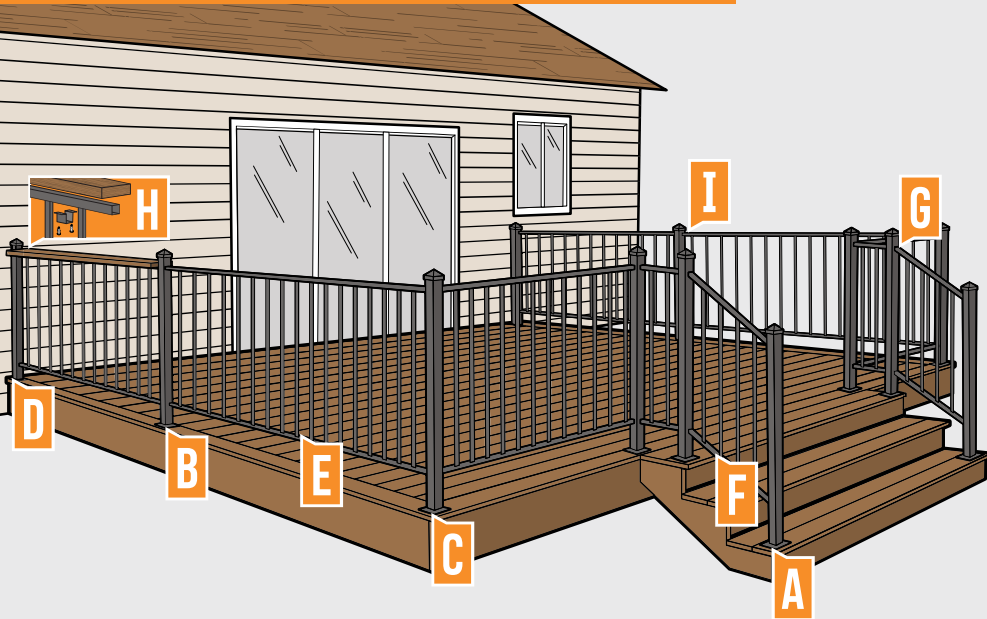


**EXHIBIT A.2**  
**FENCE GUIDELINES**

**Lots 1-29; Block 4; Timnath Ranch Subdivision 3<sup>rd</sup> Filing, County of Larimer, State of Colorado**

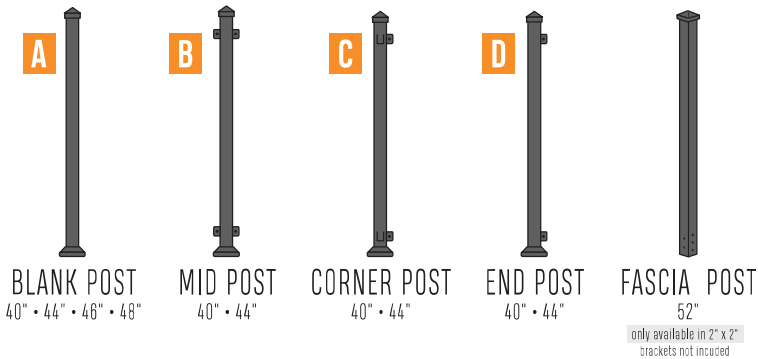
**All Multifamily Lots in the Timnath Ranch Subdivision 7th Filing, County of Larimer, State of Colorado**

# POST & RAIL ORDERING GUIDE



## POST OPTIONS

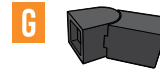
Available in 2" x 2" and 3" x 3" sizes with a range of heights to fit your needs. Factory welded level brackets for quick and easy install. Post cap, Post Skirt included. Fasteners to attach railing included with pre-welded bracketed posts. Hardware to attach post to deck or concrete not included.



## FINISHES



## BRACKET & HARDWARE OPTIONS



**G** BRACKET KIT FOR STAIR OR LEVEL ANGLE RAIL  
4 brackets per kit



**G** HEAVY DUTY STAIR BRACKET KIT  
4 brackets per kit



**G** HEAVY DUTY LEVEL ANGLE BRACKET KIT  
4 brackets per kit



**I** BRACKET KIT FOR LEVEL RAIL  
4 brackets per kit



**I** HEAVY DUTY LEVEL BRACKET KIT  
4 brackets per kit



**A** FASCIA POST BRACKET KIT  
2 brackets per kit



**H** TOP CAP FLUSH BRACKET KIT  
4 brackets per kit



More images of installed Cinch Railing can be found at [cinchrailing.com/gallery](http://cinchrailing.com/gallery)

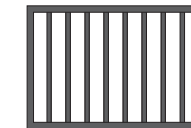
## PANEL OPTIONS

Factory assembled and finished for easy installation.

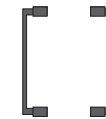


**E** LEVEL RAIL PANEL ▲  
34" Height – 6' • 8' • 10' Lengths  
40" Height – 6' • 8' Lengths

**F** STAIR RAIL PANEL ▶  
34" Height – 6' • 8' Lengths  
40" Height – 8' Length



**G** PREASSEMBLED GATE  
34 1/2" Wide • 34" High  
34 1/2" Wide • 40" High



**H** CUSTOM SIZE GATE KIT  
34" • 40" Heights  
Requires Rail Panel  
Sold Separately  
2 gates ends per kit



**I** 2 hinges per kit  
GATE HINGE



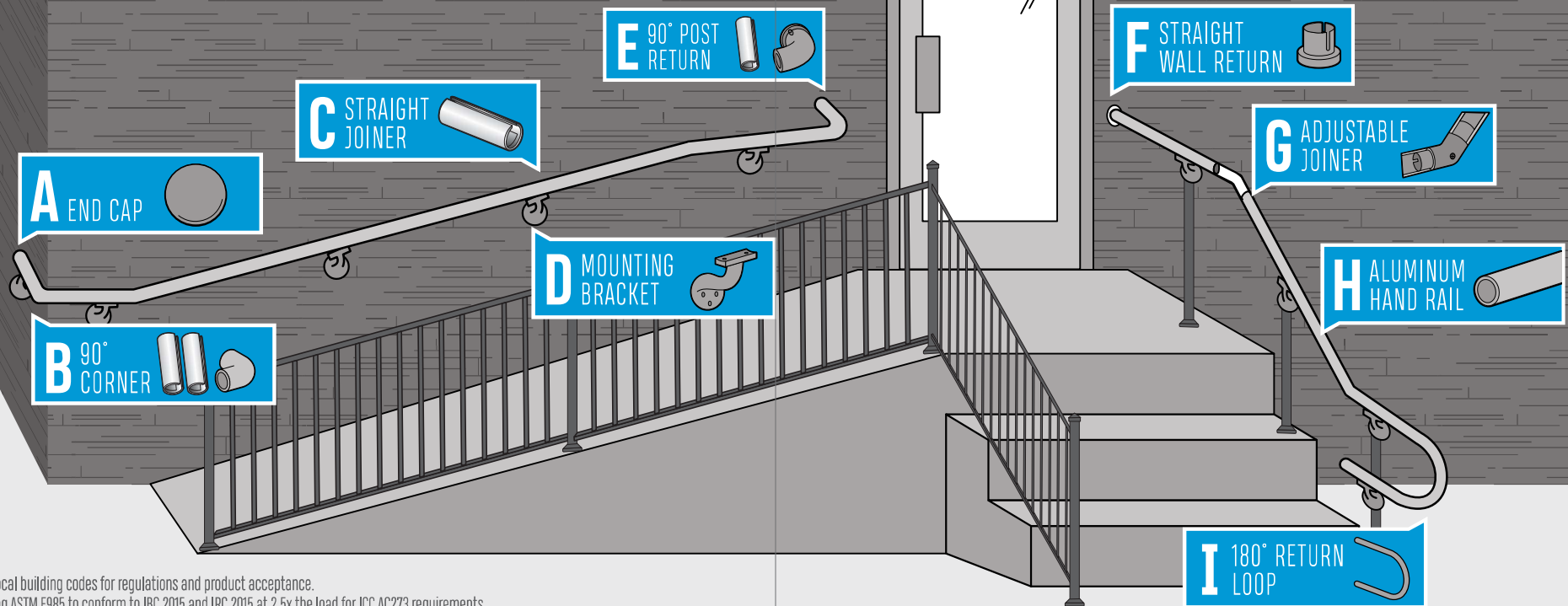
**J** GATE LATCH

- Factory welded Rail Panels have a top and bottom rail size of 1" and are 15 gauge steel with 5/8" 18 gauge balusters
- Post are 14 gauge steel



# ADA RAILING ORDERING GUIDE

CINCH™



NOTE: Consult local building codes for regulations and product acceptance.  
Approved Testing ASTM E985 to conform to IBC 2015 and IRC 2015 at 2.5x the load for ICC AC273 requirements.

- A** Seal ends of rails for a finished look.
- B** No miter cuts needed with the 90° corner. No Miter cuts.
- C** To connect hand rail lineals, internal joiners give a solid and smooth connection.
- D** Sturdy brackets provide support for rails on walls or posts.
- E** Terminate a rail at any wall or post with a 90° post return.
- F** End your railing at a post or wall with a straight wall return.
- G** Create an angle of 0-90 deg with our external adjustable joiner.
- H** 1½" Diameter rails are available in three lengths – 80" • 104" • 120"
- I** Return railing back past post with the 180° return loop.

### AVAILABLE FINISHES



DESCRIPTION	SATIN BLACK	BRONZE
1½" x 80" Aluminum Lineal	00112	00228
1½" x 104" Aluminum Lineal	00129	00235
1½" x 120" Aluminum Lineal	00136	00259
180° Return Loop	00143	00273
Mounting Bracket	00150	00310
90° Post Return – joiner included	00167	00440
Straight Wall Return	00174	00457
External Adjustable Joiner	00181	00464
90° Corner includes – includes 2 joiners	00198	00471
End Cap	00204	00488
Internal Straight Joiner (no color)		

00495

**EXHIBIT B**  
**Plant Material Recommended List**

**TREES (SHADE):**

- Linden – Green spire
- Imperial Locust
- Master Honey Locust
- Boxelder
- Winter King Hawthorn Green
- Cleveland Pear
- Indian Magic Crabapple
- Indian Summer Crabapple
- Royal Raindrops Crabapple
- Spring Snow Crabapple
- Ivory Silk Japanese Tree Lilac

**SHRUBS:**

- Goldmound Spirea
- Froebelii Japanese Spirea
- Blue Mist Spirea
- Gold Drop Potentilla
- Katherine Dykes Potentilla
- Dakota Sunrise Potentilla
- Compactus Burning Bush
- Karl Foerster Grass Feather Reed
- Hameln Grass Chinese Fountain